



Rosengarten Park



Architectural Design Standards

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Date: November 15th, 2008

Streetscapes

Streetscape Concept

One of the most charming streetscapes in Raleigh was created by the houses built close together with their porches right up to the sidewalk. The Saunders North Small Area plan recognized the value of this development pattern and this document builds on their recommendations by requiring that the new houses built will be of a original style and in the same footprint as the original houses, why adding modern amenities and some innovative architectural elements.

Sidewalks

The current sidewalks size and style will be retained and either repaired or replaced to match.

Individual Unit's Front Walks

Walks will vary in width from four (4') feet to six (6') and may incorporate larger landing areas as arrival places. Walk materials may vary from unit to unit highlighting the character of the individual units. Walk materials will be either concrete as is found elsewhere in the neighborhood or brick pavers to complement the building.

Walls

Low retaining walls to a maximum of three (3') feet height will be utilized along the front of certain units to more formally define individual front yard spaces and provide transitions where steps from the street to the front doors of the units are needed. These walls will be of either brick, stone, or artificial stone, or cement. Standard cinderblocks are not permitted. Continuous wall sections will be of the same material and detailing.

Overhead Utilities

If feasible, utility lines internal to a site shall be buried and in a trunk line at the expense of the Developer.

Variation of Building Facades

To create architectural streetscape diversity, multiple unit buildings shall have not more than 2 units of identical architectural detail. Architectural diversity will be accomplished through changes in materials, color, and detailing. Examples are the design and massing of porches, windows and door sizes and detailing, trim and body colors and building façade materials.

Building Entrances & Porches

Each dwelling will have a private entrance facing the public street. All units on will have a front covered porch with a minimum of 25 square feet in size and a minimum 6' in depth from the street. All front steps on the should be perpendicular to the street

Landscaping

Tree Protection

The protection of large trees is paramount. Protect large trees and other significant site features from immediate damage during construction and from delayed damage due to construction activities, such as loss of root area or compaction of the soil by equipment. It is especially critical to avoid compaction of the soil within the drip line of trees. Trees of 9" or larger caliper should not be removed without written agreement from the developer.

Front Yard Flowering Trees

Each house along Saunders Street will have at least one flowering or small specimen tree. These trees will be installed at a minimum size of ten (10') feet height. Typical species will include dogwoods, redbuds, crepe myrtles and cherries.

Front Yard Shrubs

At least 4 shrubs will be installed in the yard of each dwelling unit. Shrubs will be installed at a minimum height of eighteen (18") inches with the mature height not exceed forty-eight (48") inches.

Street Trees

Street trees are to be planted in the landscape strip between the curb and the sidewalk. The trees will be planted at a regular spacing (as permitted by other streetscape elements) of one tree for every thirty (20') feet of street frontage. The trees shall be 2" caliper at the time of installation.

Street Right-of-way Treatments

The landscape strip between the curb and sidewalk will be planted in a manner consistent with other locations in the neighborhood with either grass or a low ground cover (ex: periwinkle, liriopse). Where front walks for individual residences intersect the streetscape sidewalk, the walk may be extended from the streetscape walk to the curb

Fencing

All houses will provide a 6' wood privacy fence painted white with a lockable gate. Fences in the front yards should be no taller than 3'6". No vinyl or chain link fences are permitted.

Parking Strategy

Vehicular Parking Areas

Parking areas will be located behind the buildings and accessed via a 10' alleyway or driveway. Curb cuts on the Western side of S. Saunders are discouraged. No parking spaces in front of dwellings will be permitted.

Basement Garage Lots

The lots fronting Saunders Street slope downward away from the street, providing an opportunity to have rear facing garages under the buildings. This is strongly encouraged but not required.

Rear Garage Lots

The lots fronting Rosengarten provide an opportunity to have rear facing garages integrated into the ground floor of the units.

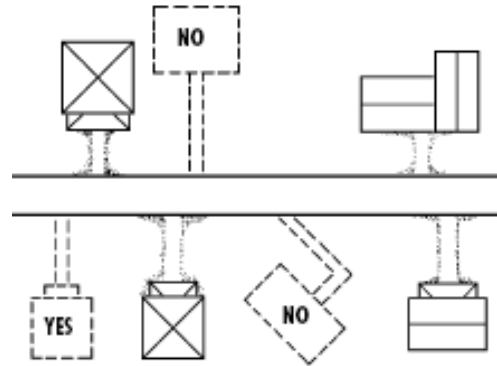
Surface Parking Lots

A minimum of 1 parking space per unit shall be provided for W. Cabarrus St. Lots.

Site location

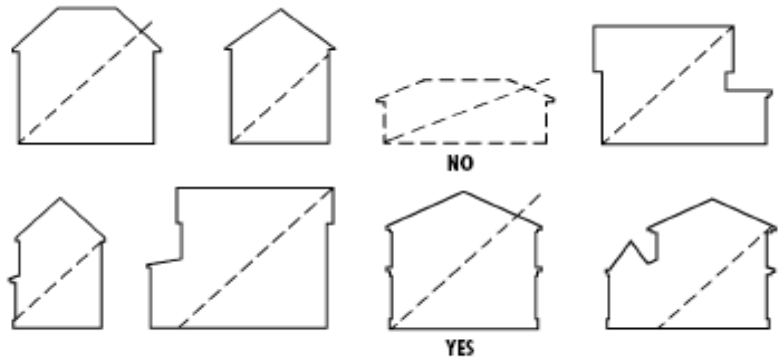
New buildings should be located within the footprints of the previous buildings on the site. In cases where no previous building exists, the building should be located in a similar location and orientation as the adjacent buildings facing the same street. The primary front façade of buildings should be located as follows.

Saunders Street: 7' from front property line
 Cabarrus Street: 10' from front property line



Height & Massing

All buildings will be a minimum of two stories tall as measured from the front street entrance and of similar massing to the surrounding structures.



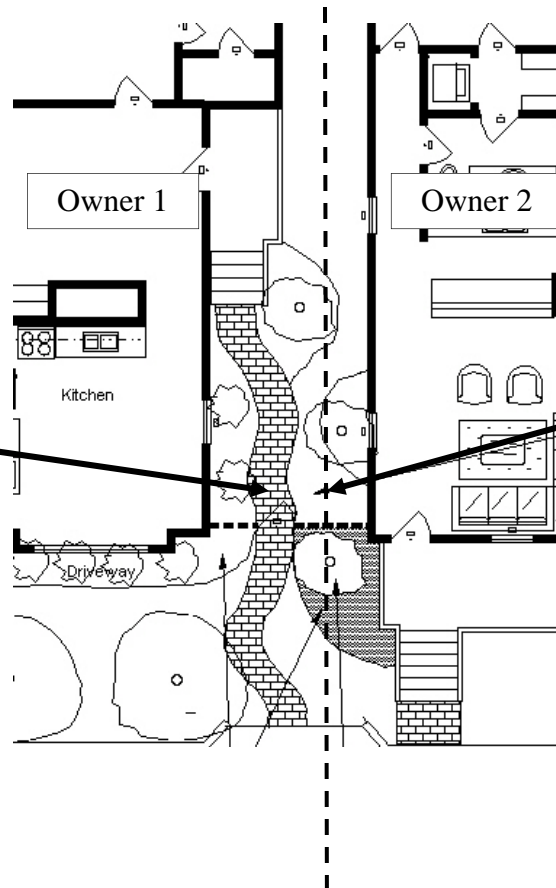
Proposed new buildings should be compatible in height and proportion of front elevation with surrounding buildings that contribute to the district character.

Use of Side Yards

In the case where houses are located closer than 15' apart, A landscape easement is presumed to be in place, granting the owner of the home that is further from the line personal use of the yard area. The owner of the opposite home shall have egress and maintenance rights. This arrangement must be agreed to by both owners in order to

Owner 1's house is set back 10' from the line.

Owner 1's is granted use of the whole 15' side yard.



Owner 2's house is set back 5' from the line, an area too short to be useful as yard space

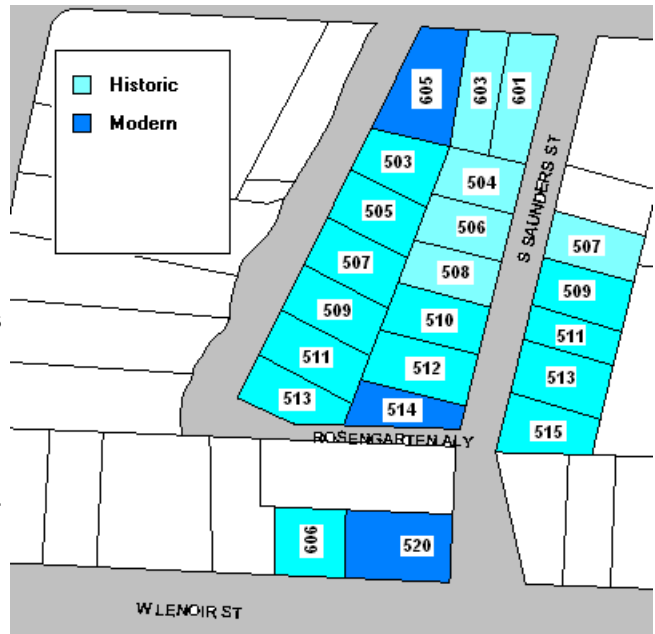
Owner 2 may access the area for maintenance or egress.

Historic Design Guidelines

This area will be characterized by houses generally following the principles of historic craftsman design.

Building Materials

Select materials and finishes for proposed new buildings that are compatible with historic materials and finishes found in the surrounding buildings that contribute to the special character of the historic district in terms of composition, scale, module, pattern, detail, texture, finish, color, and sheen. Vinyl siding or soffits shall not be used. The following materials are not permitted to be used on building facades in externally visible locations: EIFS, DAEFS, concrete masonry blocks such as split face block, or concrete bricks. Pre-cast or cast stone masonry products are permitted. Split faced blocks may be used for the foundation.



Clapboard Siding

Clapboard siding shall consist of a hardiplank siding or equivalent cement strand material siding. The clapboard will have a smooth surface and will be free of wood grain or other embossments.

Building Roofs

All buildings will have pitched roofs with a minimum pitch of 6:12 and a maximum pitch of 14:12. Roof styles will not span more than 2 dwellings without varying in configuration.

Building Eaves

The primary roof eaves of all units will have a minimum depth of 16". Dormer eaves may be less deep.

Corner Boards

Houses should have 5" corner boards on all exterior corners.

Door and Window Trim

All doors and windows will be trimmed with approximately 5" wide trim boards, square cut, not miter cut.

Fenestration

Dwellings should have regularly spaced and sized windows primarily on the front and rear surfaces. Windows should be sized similarly to other windows in the historic district. Small, postage stamp, windows should be avoided on the front of the dwellings.

Ceiling Height

To maintain the historic proportions of the buildings it is suggested that the main living floor ceiling heights be 10' and the second story ceiling heights be 9' as measured from finished ceiling to ceiling floor. Main floors are not to be less than 9' tall. Attic and basement ceiling heights are not included.

Mailboxes

Where permitted by the post office, mailboxes should be located on the front surface of the homes next to the front door.

Windows and Doors

Design the spacing, placement, scale, orientation, proportion, and size of window and door openings in proposed new construction to be compatible with the surrounding buildings that contribute to the special character of the adjacent historic district.

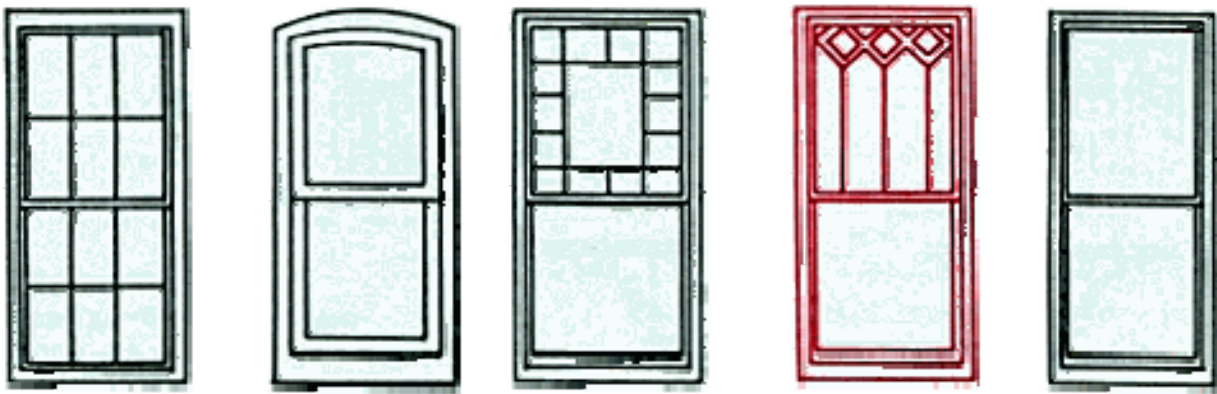


Window Shapes

Non-rectangular or irregularly shaped modern windows (such as trapezoids) should not be installed, especially on the front of the building. Acceptable windows include:

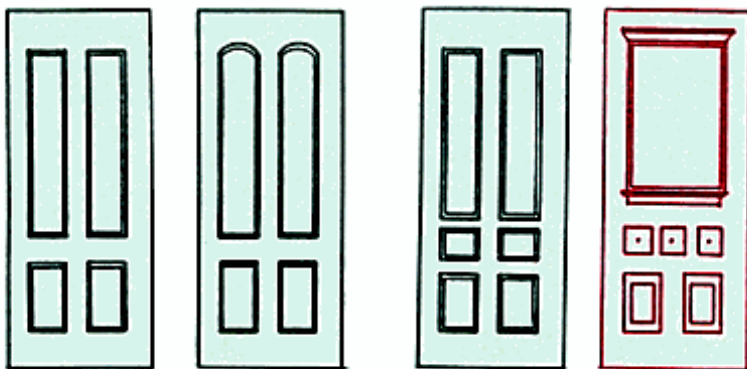
Window Mullions

Mullions must be external to the windowpanes and thick enough to cast shadow lines. Windows with mullions between panes are not permitted.



Doors

Doors must be wood with multiple panels and traditional in style. Steel doors are not permitted.



Mid-19th century

Italianate

Queen Anne

Modern Design Guidelines

Some lots will be subject to a separate criteria intended to promote architectural interest into the area by introducing innovative “modern” architecture within the village. This applies to lots located at 601 W. Cabarrus St. and 514 S. Saunders St.

Massing

Design new buildings to be compatible with surrounding buildings that contribute to the overall character of the historic district in terms of height, size, scale, massing, & proportion.

Front Facade

Design the proportion of the proposed new building’s front facade to be compatible with the front facade proportion of surrounding historic buildings.

Height

All buildings will be a minimum of two stories tall as measured from the front street entrance.

Mailboxes

Where permitted by the post office, mailboxes should be located on the front surface of the homes next to the front door.